City of Spring Grove, MN Spring Grove Industrial Park First Expansion Infrastructure & Industrial Extension Project

Request for Proposals: Engineering Services

The City of Spring Grove is issuing a Request for Proposals (RFP) for engineering services related to the extension of sanitary sewer and water infrastructure to serve a 10 to 20-acre extension to the current industrial park. Sealed bids must be submitted and be clearly marked:

Request for Engineering Proposals Spring Grove Industrial Park Expansion Project City of Spring Grove P. O. Box 218 Spring Grove, MN 55974 Attn: Jana Elton, City Administrator

All Proposals must be received no later than 4:00 p.m., Thursday, February 15, 2024.

The City of Spring Grove, MN is applying for a grant from the United States Department of Commerce's Economic Development Administration (EDA) to help complete necessary curb, gutter, and bituminous roadways in the current 10-acre industrial park, as well as fund a 10-20 acre expansion of our current industrial park to include a sanitary sewer and watermain extension. The proposed infrastructure will primarily serve a 10-20-acre vacant site that is undeveloped agricultural land immediately east of the current industrial park.

This Project involves the construction of curb, gutter, and roadways in the current industrial park as well as construction/extension of city water and sewer in the proposed additional acreage. As shown in the attached maps, the sewer and water infrastructure would connect to existing infrastructure owned and operated by the City of Spring Grove. The planned development of the site involves a proposed 7-9 lot industrial park on 10-20 acres. The expansion area has not been set and is somewhat flexible to ensure that the expansion is the correct size and layout to be most successful.

As required by the U.S. Department of Commerce Economic Development Administration, the Architectural/Engineering and Inspection services shall be selected competitively by sealed bids (formal advertising). The project price shall be separated into four phases, which are Phase 1- NEPA Environmental Narrative, Phase 2- Preliminary Engineering Report, Phase 3-Design/Bidding and Phase 4- Construction/Project Inspection Phase. Fees shall be on a fixed-price basis; the use of the cost-plus-a percentage-of-cost and percentage forms of compensation are not eligible for EDA participation.

The City of Spring Grove will evaluate the proposals in their entirety for all Phases and will select one respondent, based upon the criteria described herein. The City of Spring Grove intends to award a contract for Phase 1 and Phase 2, initially, as this work is required for the EDA grant application. The City of Spring Grove will award a separate contract for Phases 3 and 4 upon award of the EDA grant and reserves the right to not contract for those services if the EDA grant is not awarded. Please see enclosed Economic Development Administration Architect/Engineer Contracts Checklist for guidance. The City of Spring Grove is required to provide this checklist to the EDA for approval for the services in Phase 3 and 4, which are EDA grant reimbursable expenses.

<u>Background</u>

As shown in the attached drawings, the proposed project involves the development of curb, gutter, and bituminous roadways in the current 10-acre industrial park, as well as fund a 10-20 acre expansion of our current industrial park to include a sanitary sewer and watermain extension in raw, undeveloped land. The land of the proposed development is currently privately owned but the owner has indicated interest in selling to the City for the expansion of the industrial park.

To position the entire 10 to 20 acre expansion for development, the proposed infrastructure project would extend sanitary sewer and water infrastructure from its nearest available source in the current industrial park. (See Attached Project Site Maps)

Scope of Work

NEPA Environmental Narrative - Phase 1

The National Environmental Policy Act (NEPA) requires Federal agencies to assess the potential environmental impacts associated with proposed federal actions, including the financial assistance that will be considered by the Federal EDA for this project. For reference, the NEPA obligations are established under 40 C.F.R. 1500-1508.

<u>Services Sought</u> - The selected engineering firm shall prepare an environmental narrative following the most current version of the attached *EDA Environmental Narrative Requirements.*

Preliminary Engineering Report - Phase 2

The Federal EDA is required to complete an engineering review for all construction and design projects before making an award. The City of Spring Grove must provide a preliminary engineering report for the proposed project with the application to the Federal EDA.

<u>Services Sought</u> - The selected engineering firm shall prepare a preliminary engineering report following the most current version of the attached EDA Preliminary Engineering Report Requirements.

Design and Bidding - Phase 3

This phase will require design and bidding services necessary to serve the development area with roadways, curb and gutter, sanitary sewer, and watermain.

<u>Services Sought</u> - The selected engineering firm will guide the City of Spring Grove through the design and engineering of the project, preparation of complete and accurate construction drawings. The firm will also be expected to guide the City of Spring Grove in adhering to all EDA funding requirements throughout the project.

Design/Bidding Phase Scope of Work is as follows:

- 1) Kick-Off meeting with key City staff to discuss the overall project objectives and goals, refine the scope of services if necessary, and get the project firmly started.
- 2) Data Collection of all relevant existing studies, reports, record drawings and data from the City of Spring Grove.
- 3) All necessary field survey work to design the project, including establishing appropriate property boundaries.
- 4) Prepare designs and submit formal design review submissions to the City of Spring Grove at 60% and 90% completion of the project.
- 5) Prepare bid ready technical and construction plans and specifications for this project. The front-end specifications shall be standard Economic Development Administration (EDA) front end documents and shall be tailored to meet the requirements of the Project. Assist the City of Spring Grove throughout the bidding process and make a recommendation of award after reviewing the received bids.
- 6) The consultant shall provide support services to assist the City of Spring Grove in obtaining bids from contractors. The bid period for this project will allow bidders adequate time to become familiar with the work. Bids shall be obtained electronically and shall meet all of the requirements of the EDA.
- 7) Prepare all necessary environmental and/or construction permits from appropriate State and local governmental agencies. This includes, but is not limited to, all permits required to work within the road right-of-way.
- 8) Coordinate the notification process for Disadvantaged Business Enterprises (DBEs) as required by the funding agency.
- 9) Prepare the Advertisements for Bid for publication in the *Caledonia Argus* and notify appropriate industry publications.

- 10) Prepare necessary copies of drawings, contract/bid documents and technical specifications, and distribute them to interested parties.
- 11) Conduct one Pre-Bid Meeting with interested contractors, representatives of regulatory and funding agencies, and the City of Spring Grove.
- 12) Respond to bidder general and technical questions.
- 13) Attend the Bid Opening, administer the receipt of bids, compare bids, check for compliance with the contract requirements, call references, confirm math and tabulate the results. Based upon this review, make a written recommendation for the award of the contract.
- 14) Modify Contract Documents to incorporate information included in bid addenda.
- 15) All engineering services must be in compliance with 2 CFR Appendix II to Part 200 -Contract Provisions for Non Federal Entity Contracts Under Federal Awards.

Construction/Project Inspection - Phase 4

Construction administration and inspection services will be required for this project. Phase 4 includes all work necessary to manage the day-to-day construction activities and to provide full-time construction inspection services.

<u>Services Sought</u> - The selected engineering firm will guide the City of Spring Grove through the construction administration and observation phases of the project. The firm will also be expected to guide the City of Spring Grove in adhering to all EDA funding requirements throughout the construction phase of the project.

Construction/Project Inspection Phase Scope of Work is as follows:

- 1) Construction Administration:
 - a) Prepare for and attend the preconstruction meeting.
 - b) Provide consultation and advice to the City of Spring Grove during construction and be available to meet with City of Spring Grove staff, the Contractor, and other parties throughout the construction phase of the project to discuss/resolve construction issues, construction progress, and to coordinate the work as needed.
 - c) Check detailed construction, shop and erection drawings submitted by the Contractor for compliance with the design concept and design intent.
 - d) Conduct all Davis Bacon Wage Confirmation interviews and provide reports

to the City of Spring Grove.

- e) Prepare supplementary sketches required to clarify/resolve any field construction problems that may arise due to actual field conditions encountered.
- f) Respond to contractor general and technical questions.
- g) Attend final review of the completed construction with representatives from the City of Spring Grove, the Contractor, and other concerned parties as needed, and prepare a letter to address any deficiencies, corrective actions required, etc.
- h) Prepare record (i.e. "as-built") drawings based on construction information.
- Print and distribute construction record drawings for distribution to the City of Spring Grove as required. Record drawings shall be furnished both in electronic PDF compatible format and electronically in AutoCAD compatible format on flash drive.
- 2) Construction Observation: Provide daily construction observation of the construction work in progress based on the Contractor's construction schedule. The engineer shall perform the following functions:
 - a) Monitor materials used in the construction for compliance with project specifications.
 - b) Monitor quality of construction and verify compliance with project specifications.
 - c) Prepare site visit observation reports covering observations made of the work in progress, delays to construction, unusual events, etc.
 - d) Monitor project progress and report the same to the City of Spring Grove and to assist in the preparation of quarterly reports to Federal EDA.
 - e) Review and approve monthly Payment Requisitions from the Contractor to confirm quantities of work completed and certify payment requisitions for payment by the City of Spring Grove.
 - f) Interpret the contract plans and specifications and check the construction activities for compliance with the intent of the design.
 - g) Attend meetings as required for coordination among officials from the City of Spring Grove and the Contractor or any state and local agencies (as

required).

- h) Confirm Substantial Completion of the project and prepare Certificate of Substantial Completion. Prepare a Punch List of outstanding items of work to be completed after Substantial Completion in order to achieve final completion of the construction work.
- i) Maintain project record ("as-built") information for the development of final record drawings and final project report.
- 3) EDA Funding Requirements During Construction. Tasks that are required to be completed during construction pursuant to the rules and regulations for EDA funded projects include:
 - a) Collect and check weekly certified payroll reports from the Contractor and all subcontractors on the project.
 - b) Collect weekly signed Statement of Compliance (wages) from Contractor and Subcontractors.
 - c) Verify hours worked and rates paid for the Contractor and all subcontractors on the project.
 - d) Maintain a file of weekly certified payroll reports.
 - e) Submit a copy of the weekly certified payroll reports to the City of Spring Grove and Federal EDA.
 - f) Conduct at least two (2) (minimum) wage rate interviews to confirm/verify wage rates.
 - g) Document "Buy American" provisions.
 - h) Maintain documentation and records for all equipment and products purchased in accordance with the "Buy American" provisions. Required documentation includes: (1) U.S.-made components; (2) National waivers;
 (3) project-specific waivers; and (4) "De Minimis" components.
 - i) Prepare a monthly report of project completion status.

Proposal Specifications:

Statement of Qualifications (SOQ) and Price Proposal specifications:

- 1) Statement of Qualifications (SOQ) must include the following information:
 - a) Executive Summary;
 - b) Firm and team history. Include names, qualifications and resumes of key

personnel to participate in the project including educational background and employment history;

- c) Description of other similar infrastructure design and construction inspection projects managed and designed by this firm similar to this project. Please provide a list of similar projects and up to three references, contact names and telephone numbers;
- d) Provide specific evidence of familiarity with the construction and grant procedure of the United States Economic Development Administration.
 Please provide a list of previous EDA funded projects that your firm has participated in;
- e) Statement of availability and location of key personnel to work on the project;
- f) Brief description of the firm's approach to planning, designing and, implementing this project;
- g) Price Proposal
- Quantities: Two (2) hard copies and One (1) electronic copy of the Statement of Proposal to include the provided Price Proposal Form. Proposals shall be limited to 40 pages single sided or 20 double sided pages.
- 3) As required by the U.S. Department of Commerce Economic Development Administration, the project price shall be separated into NEPA Environmental Narrative Phase, Preliminary Engineering Report Phase, Design/Bidding Phase and Construction/Project Inspection Phase. Fees shall be on a fixed-price basis; the use of the cost-plus-a percentage-of-cost and percentage forms of compensation are not eligible for EDA participation. Please see enclosed Economic Development Administration Checklist for Architect/Engineer contracts for guidance. The City of Spring Grove is required to provide this checklist to the EDA for approval. All proposed fees shall include all labor, materials, and expenses to complete the work. This includes, but is not limited to; consultations, surveys, soil investigations, supervision, "as-built" drawings, travel expenses and incidental costs.
- 4) Schedule (dates are subject to change):

Responses to RFP due

	Award of Phase 1 and 2 Engineering Services Contract	February 20, 2024
	Phase 1 and 2 Work Begins	February 21, 2024
	Complete Phase 1 and Phase 2 Work	April 10, 2024
	EDA Grant Application Submission	April 17, 2024
	EDA Grant Award*	June 11, 2024
	Award of Phase 3 & 4 Engineering Services Contract	July 16, 2024
	Design Begins	July 17, 2024
	Design Complete	October 1, 2024
	EDA Review of design and bid documents	October 8, 2024
	Advertisement for Bids Oct	ober 15, 2024
	Bid Opening	November 19, 2024
	Construction Contract Award	November 19, 2024
	Pre-Construction Conference	March 3, 2025
	Issuance of Notice to Proceed	March 3, 2025
	Substantial Completion Date	July 15, 2025
	Final Completion Date/Acceptance by Owner	September 1, 2025
* Ti	meline for EDA Grant Review and Award is an estimate.	

PROPOSAL INSTRUCTIONS

Preparation of Proposals

- 1) The firm shall submit the price proposal upon the forms attached.
- 2) The proposal must be signed with ink by the individual, by one or more members of the partnership, by one or more members or officers of each firm representing a joint venture, by one or more officers of a corporation, or by an agent of the consultant legally qualified and acceptable to the owner. If the proposal is made by an individual, his or her name and post office address must be shown; by a corporation, the name of the corporation and its business address must be shown, together with the name of the state in which it is incorporated, and the names, titles, and business address of the President, Secretary and Treasurer.
- All questions shall be submitted in writing to and received by the Spring Grove Economic Development Authority Executive Director, Courtney Bergey Swanson, at courtney.bergey@cedausa.com, a minimum of seven (7) days prior to the

scheduled opening. The Director will then forward both the question and the response to all prospective firms, who have made themselves known to the Director.

4) All materials submitted in response to this invitation will become the property of the City of Spring Grove. All expenses incurred by responding to this invitation shall be the responsibility of the firm.

<u>RFP Evaluation</u>

- 1) A Review Committee, consisting of City staff shall consider the following factors as an integral part of the proposal evaluation process:
 - a) *Roadway, Sewer and Water System Experience.* Ability, capacity and skill to perform the proposed work as evidenced by the number and type of similar projects;
 - b) Economic Development Administration Engineering Design and Construction Inspection Experience. Experience with Economic Development Administration grant processes and requirements as evidenced by a list of previous EDA funded engineering work;
 - c) *Firm History and Location.* Past history of the firm, its knowledge of the area and ability to readily serve the project; and
 - d) *Price*. Total price of engineering design and inspection services.
- 2) Proposal Weighting/Evaluation
 - a) Design and Construction Inspection work experience 35%; and
 - b) Economic Development Administration Engineering Design and Construction Inspection Experience – 20%; and
 - c) Firm History and Location 20%; and
 - d) Total Price 25%.

The Review Committee will then present its recommendation to the City Council for an award of bid.

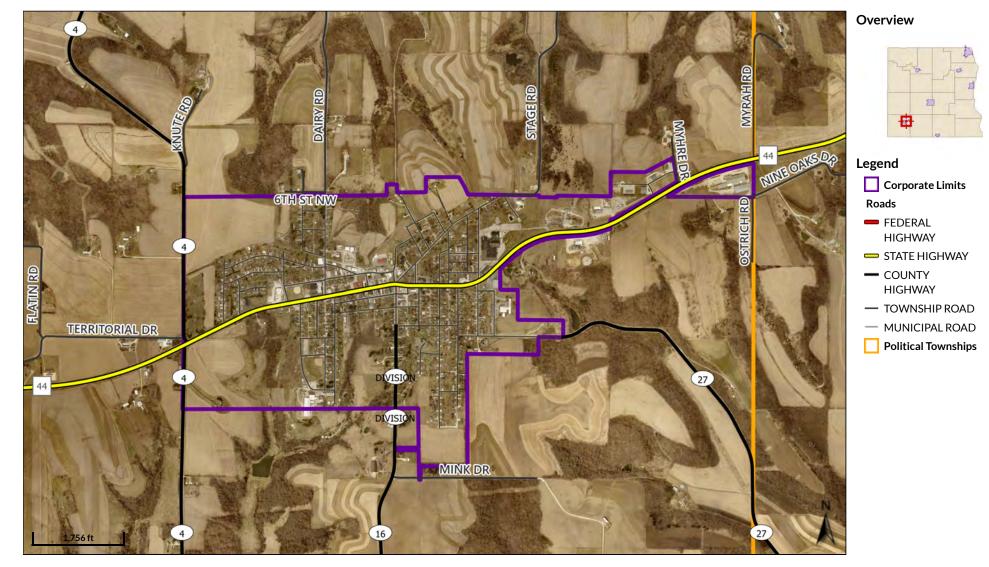
3) The City of Spring Grove reserves the right to reject any or all proposals, to waive technicalities or to advertise for new proposals, if in the judgment of the Review Committee and the City Council, the best interest of the City of Spring Grove will be promoted thereby.

Award of Contract

- If a contract is to be awarded, the award will be made to the qualified firm whose proposal complies with all the requirements prescribed in the specifications page(s) and evaluation section of this document, and at the sole discretion of the City of Spring Grove, demonstrates that selection of said firm is in the best interest of the City, as soon as practical after the opening, scheduled to happen on February 15, 2024. The successful firm will be notified at the address listed that the proposal has been accepted.
- 2) The Review Committee will rank firms or consultants based upon proposal evaluations.
- 3) The City of Spring Grove reserves the right to cancel the award of any contract at any time before the execution of such contract by all parties without any liability against the City.

Spring Grove Industrial Park Expansion

City Arial View

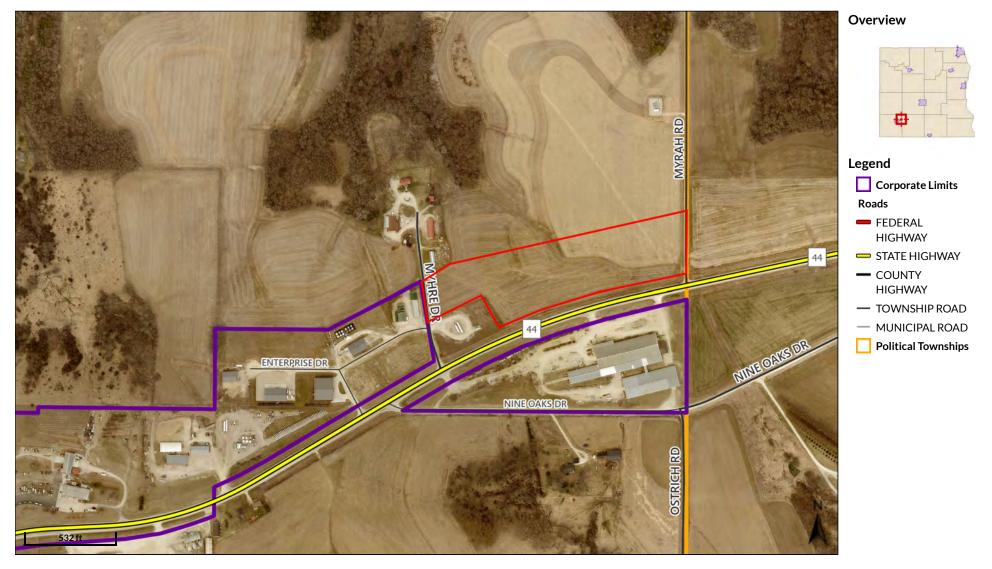


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Spring Grove Industrial Park Expansion

Created by: Spring Grove Economic Development Authority - RC

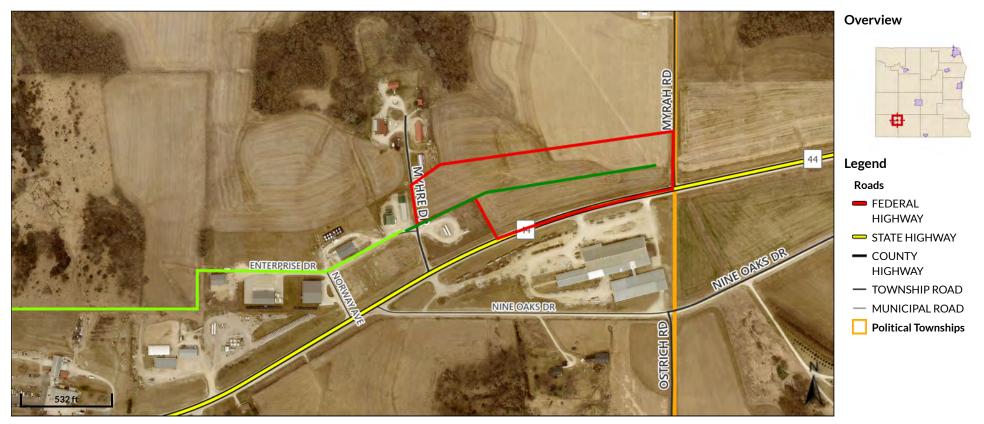
Spring Grove Industrial Park Expansion Concept Area & Corporate Boundaries



Spring Grove Industrial Park Expansion

Sanitary Sewer - Existing and Expansion

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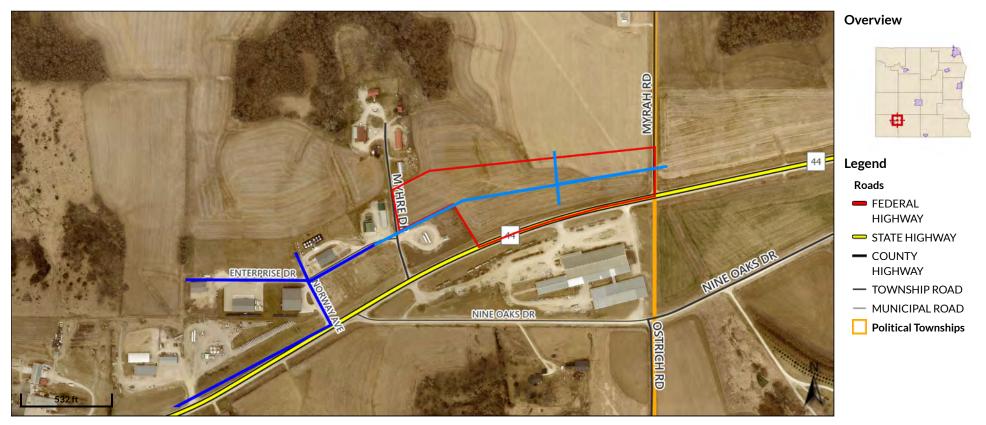
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Spring Grove Industrial Park Expansion

Water Main - Existing and Expansion

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		EX. DRAINAGE DITCH
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	oo	CHAINLINK FENCE
EXISTING GATE VALVE		SECTION LINE
PROPOSED HYDRANT		QUARTER SECTION LINE
	oo	WOODEN FENCE
PROPOSED GATE VALVE		TREELINE
PROPOSED MANHOLE		RETAINING WALL
		EX. SEALCOAT
EXISTING CONIFER TREE	•••••••••••••••••••••••••••••••••••••••	GUARD RAIL
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EXISTING GUY WIRE		EX. CONTOUR
	============	EX. STORM SEWER
EXISTING TELEPHONE PEDESTAL		PERMANENT EASEMENT
EXISTING CURB STOP		TEMPORARY EASEMENT
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EXISTING ELECTRIC PEDESTAL	онт онт	OVERHEAD TELEPHONE
EXISTING CABLE TV PEDESTAL	s s s	EX. SANITARY SEWER
		CENTERLINE
EXISTING SATELITE DISH		SILT FENCE
EXISTING MAILBOX		

COMMERCIAL PARK LIFT STATION SPRING GROVE, MINNESOTA 2017

GOVERNING SPECIFICATIONS

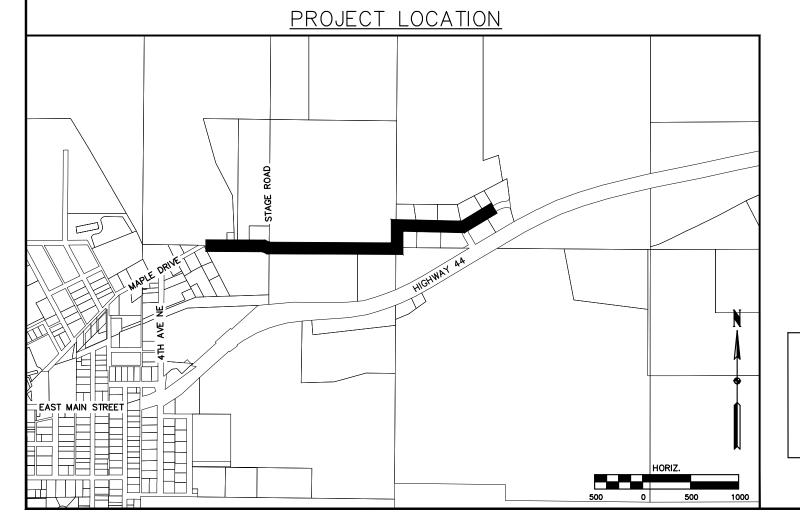
THE 2016 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND ANY SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN, EXCLUDING DIVISION I.

NOTES:

1. WHERE PUBLIC UTILITY FIXTURES OR FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE 1. WHERE PUBLIC UTILITY FIXTURES OR FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION INVOLVING EXCAVATION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES OR RELOCATION. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND UTILITY OPERATOR LOCATION MARKINGS APPROXIMATE ONLY. TYPE, SIZE AND GENERAL LOCATION OF THE FACILITIES WERE REQUESTED THROUGH GOPHER STATE ONE CALL; THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. TYPE, SIZE AND GENERAL LOCATION OF THE FACILITIES WERE REQUESTED OF THE OPERATORS AND SHOWN ON THE PLANS, AND IF NECESSARY, UPDATED WITHIN 90 DAYS OF COMPLETION OF THE FINAL PLANS. IT IS SHOWN IN THE PLANS, AND IF NECESSARY, UPDATED OF MUNICIPE DEVENTY OF COMPLETION OF THE FINAL PLANS. IT IS SHOWN IN THE PLANS, AND IF NECESSARY, UPDATED OF MUNICIPE DEVENTY. POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY THE WORK.

2. GOPHER STATE ONE CALL TELE: 1-800-252-1166.

THE PROJECT.



UTILITY LOCATION UTILITY QUALITY LEVEL C UNLESS OTHERWISE INDICATED UTILITY LOCATION PERFORMED ON: 6/16/2017 GOPHER ONE CALL TICKET NUMBERS: 171631864 171631865 171631866 UTILITY DESIGN MEETING HELD ON: TBD

	INDEX	
SHEET	1	_ TITLE SHEET
SHEET	2–3	_DETAILS
SHEET	4	LIFT STATION DETAILS
SHEET	5–10	_PLAN AND PROFILE
SHEET	11–12	_SWPPP
SHEET	E1-E2	_ELECTRICAL

3. CONTRACTOR SHALL COORDINATE UTILITY RELOCATIONS WITH THE UTILITY COMPANIES, THIS SHALL BE INCIDENTAL TO

CITY OFFICIALS

MAYOR: SARAH SCHROEDER

TODD BORNHOLDT COUNCIL: KAREN FOLSTAD SCOTT SOLBERG TRAVIS TORGERSON

ERIN KONKEL

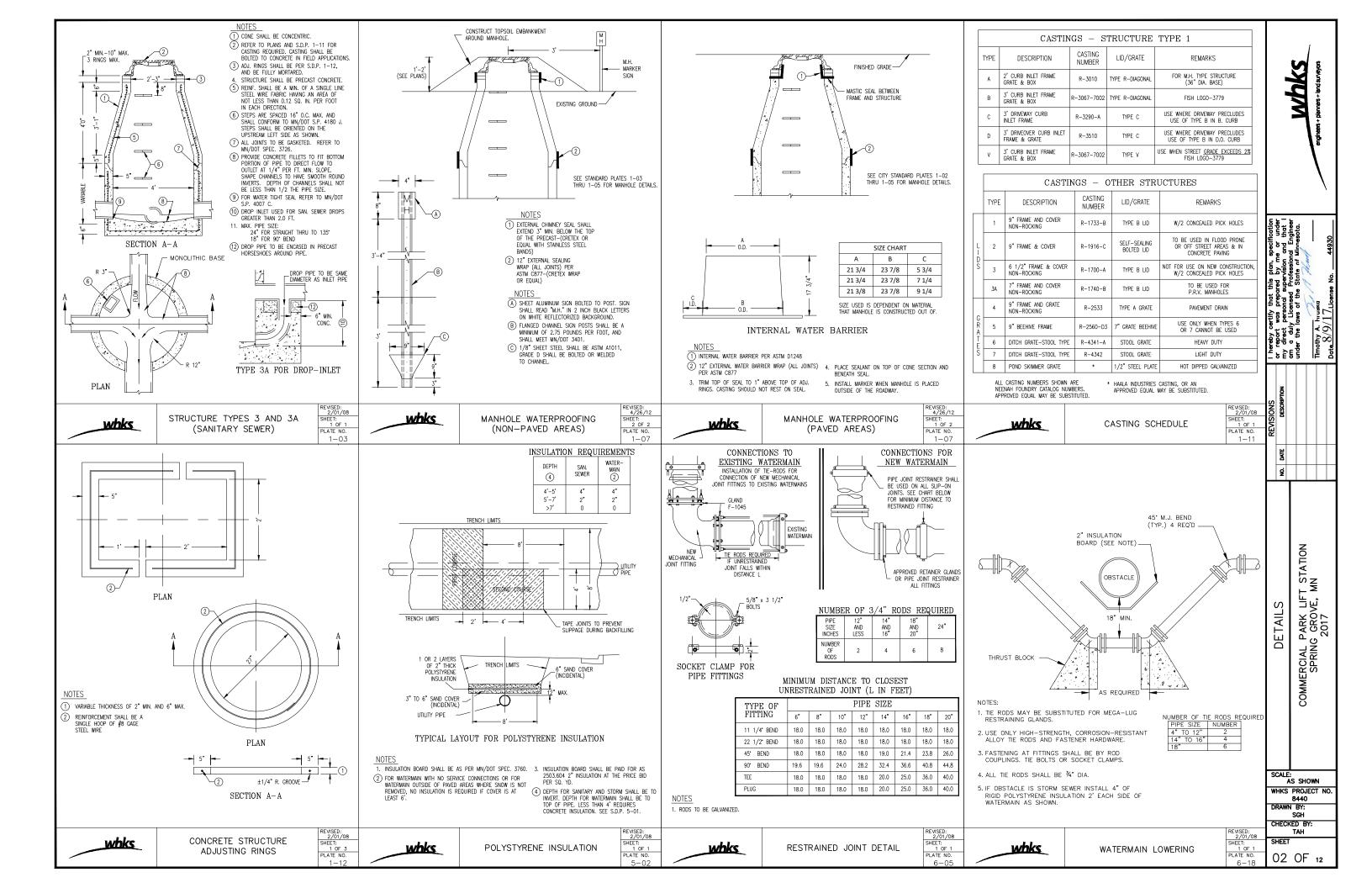
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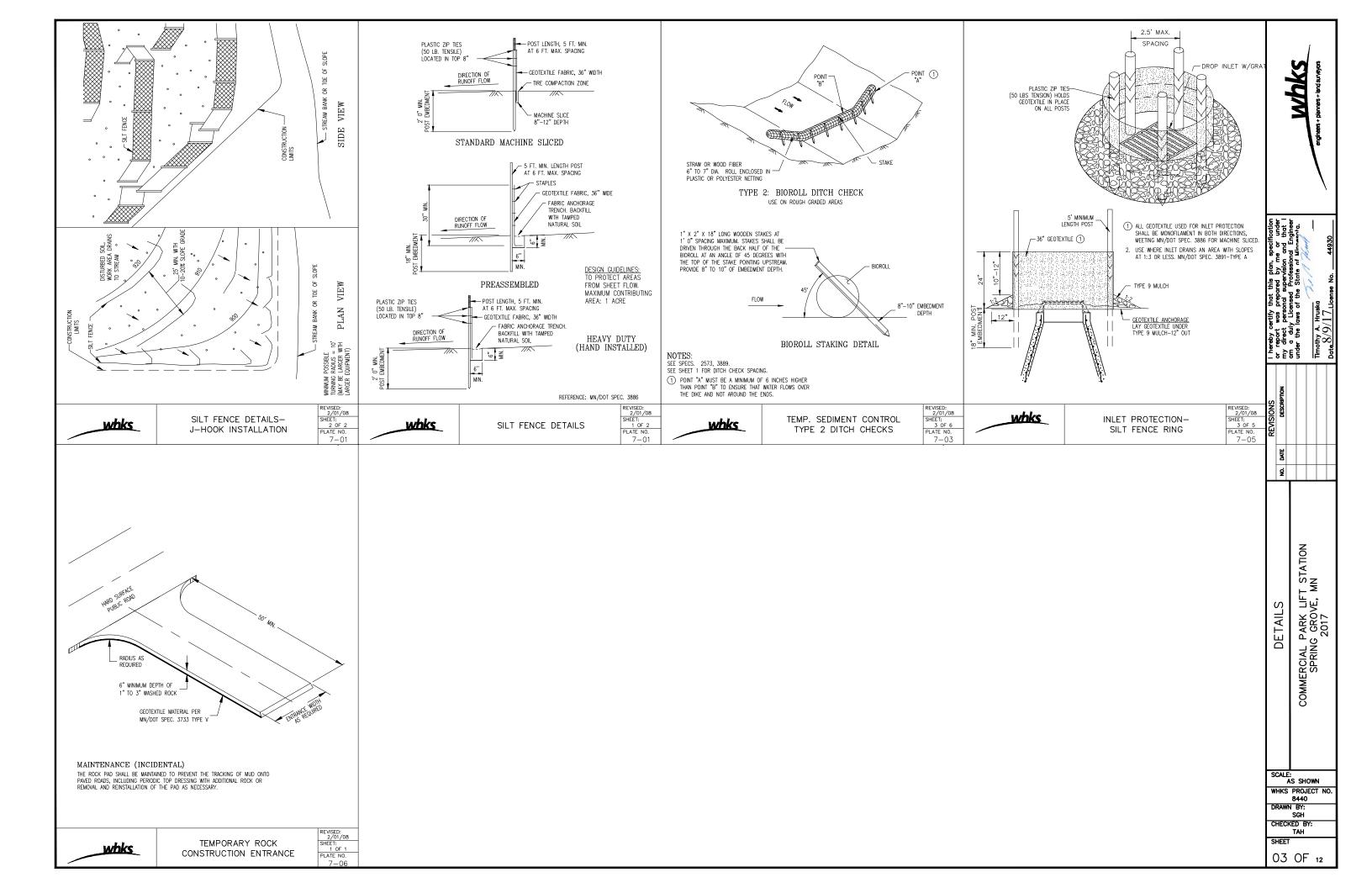
PUBLIC WORKS DIRECTOR: PAUL MORKEN

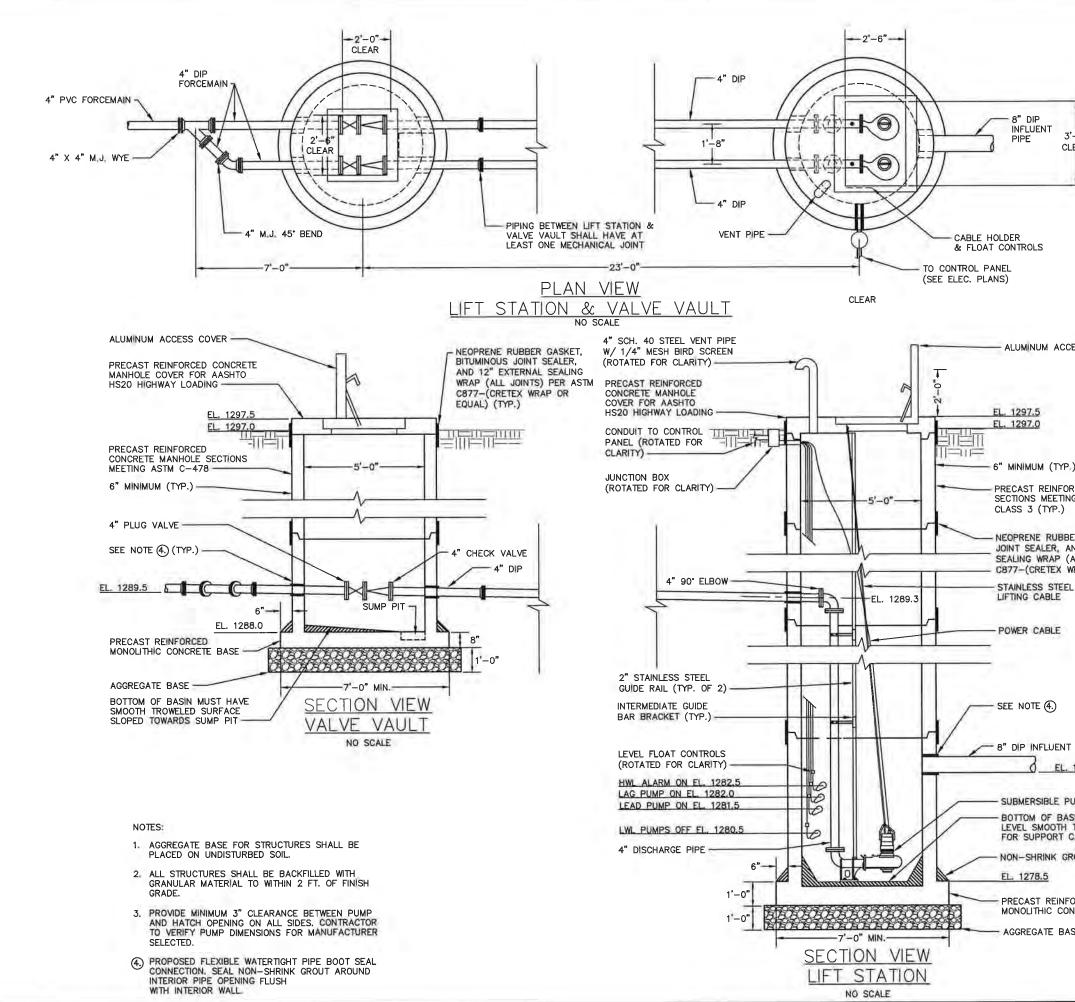
I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that i am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Timothy A. Hrusko Date 8/9/17 license No. 44930 wnks

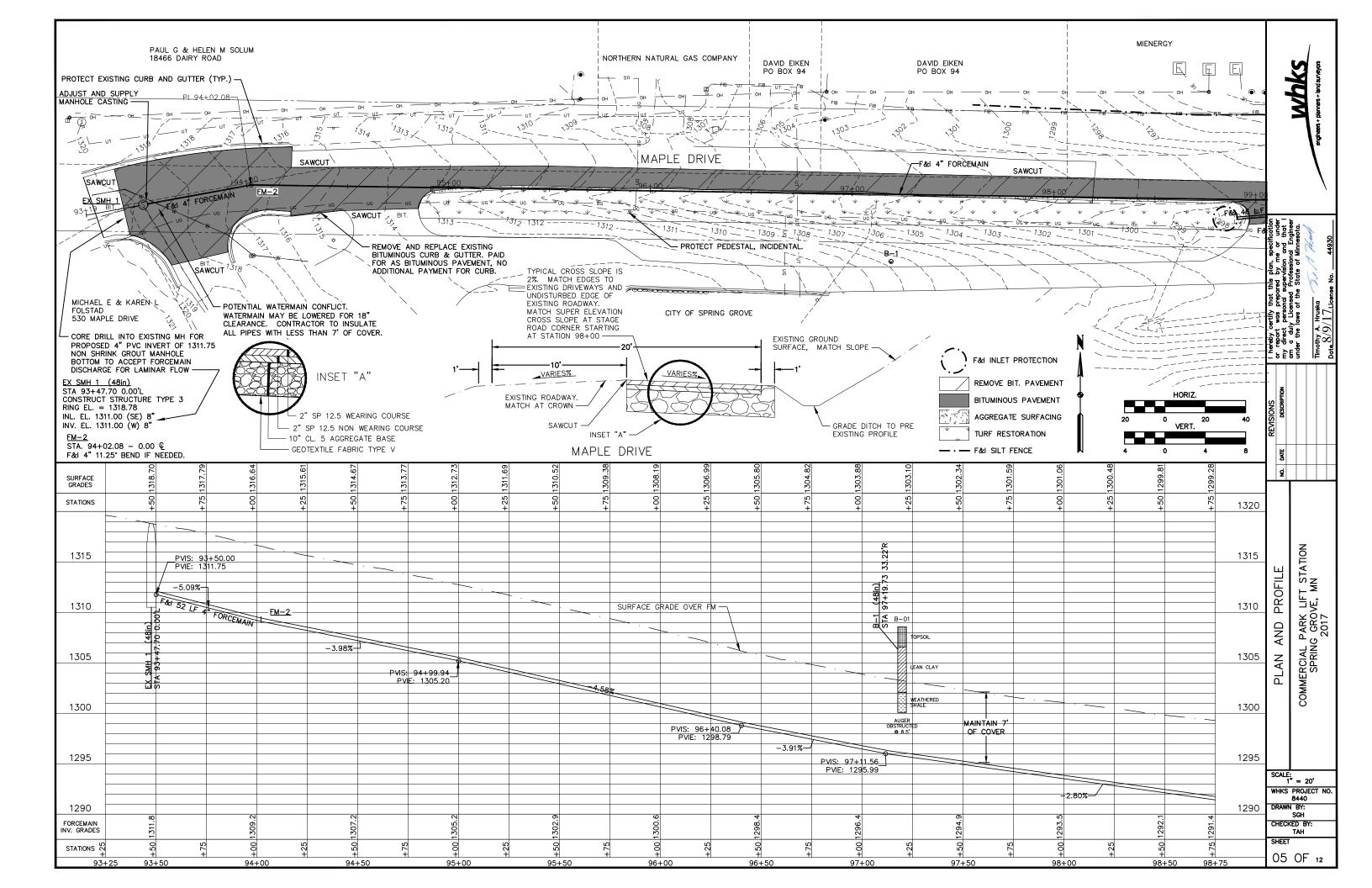
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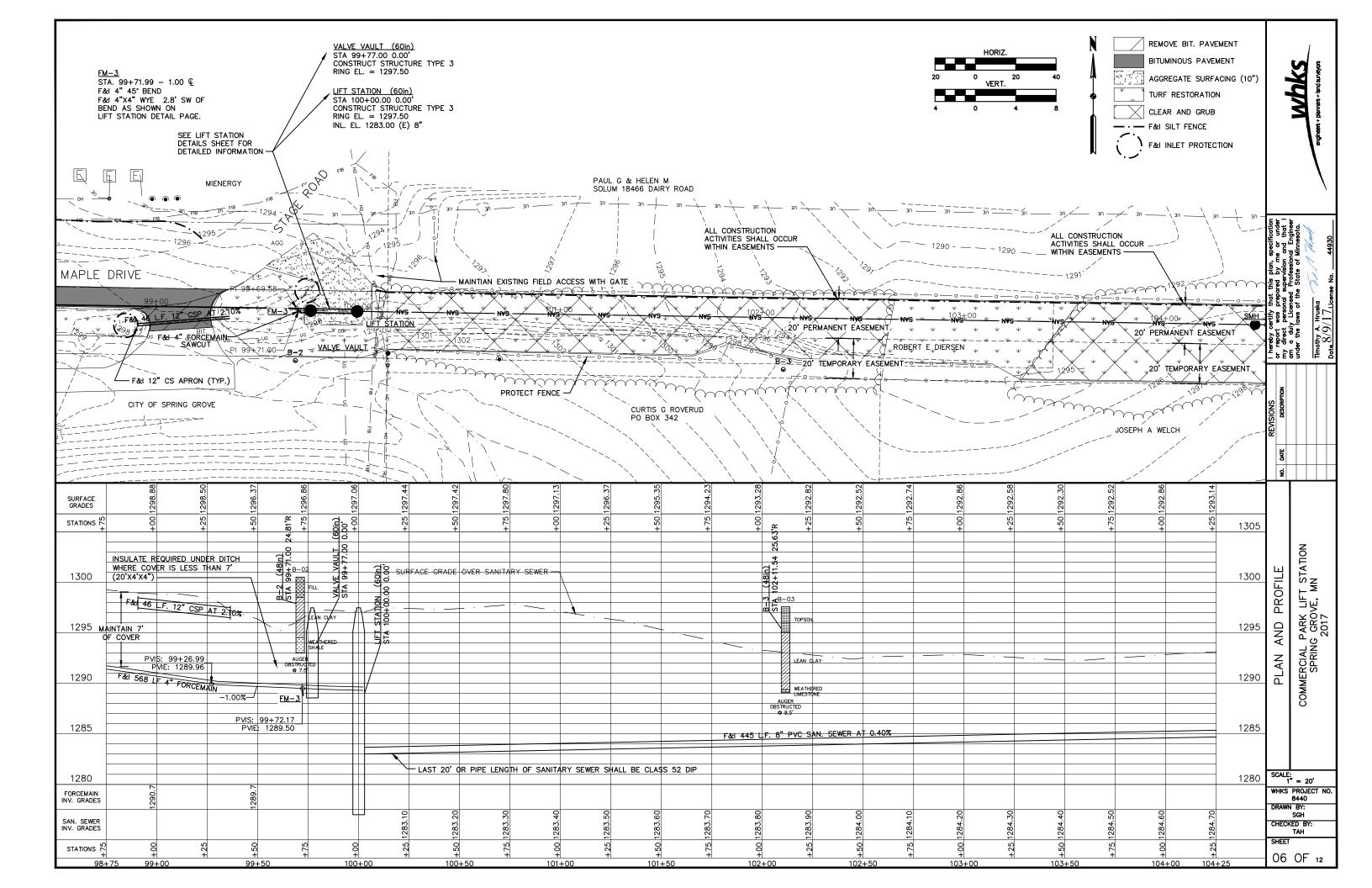


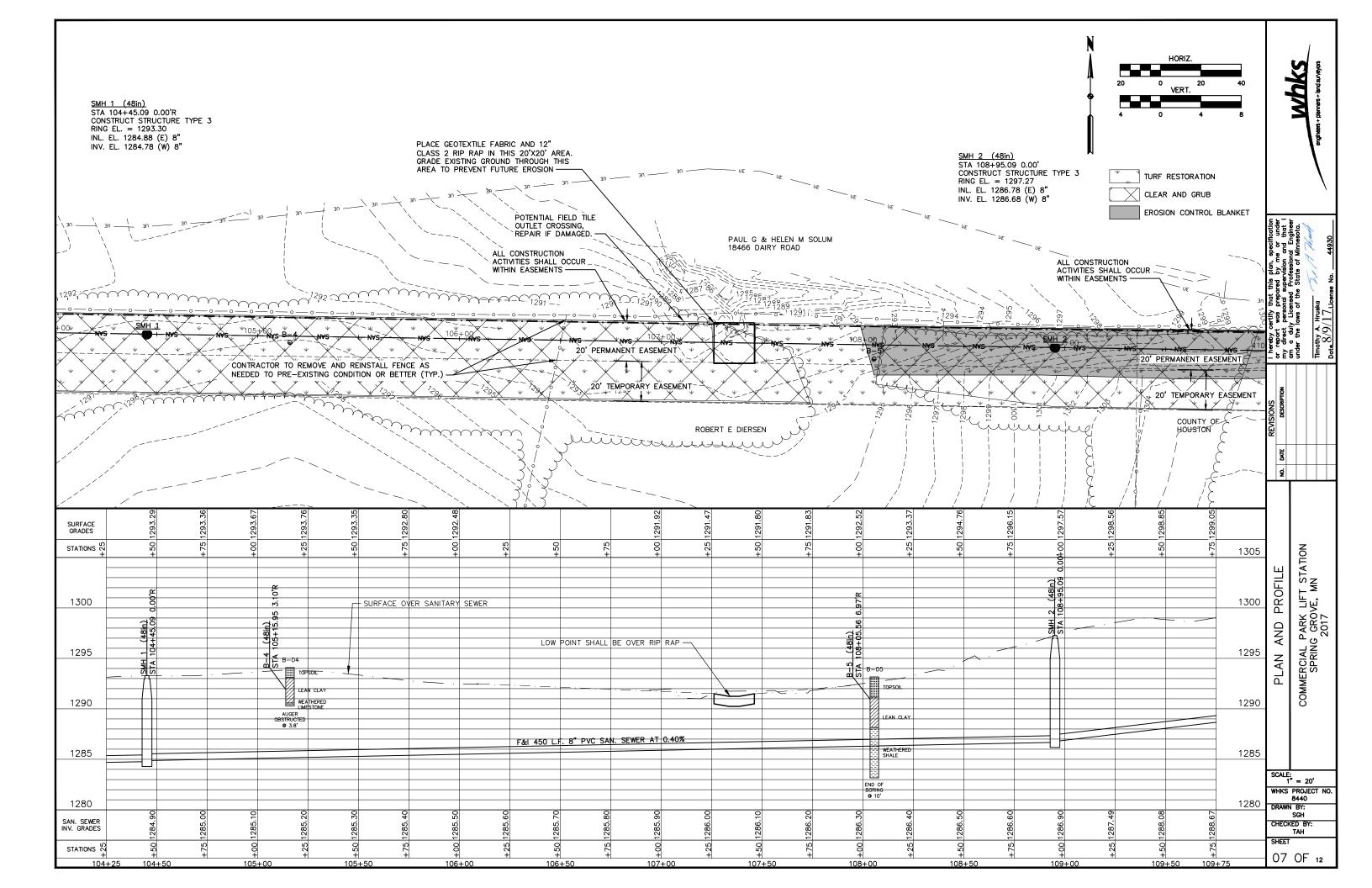


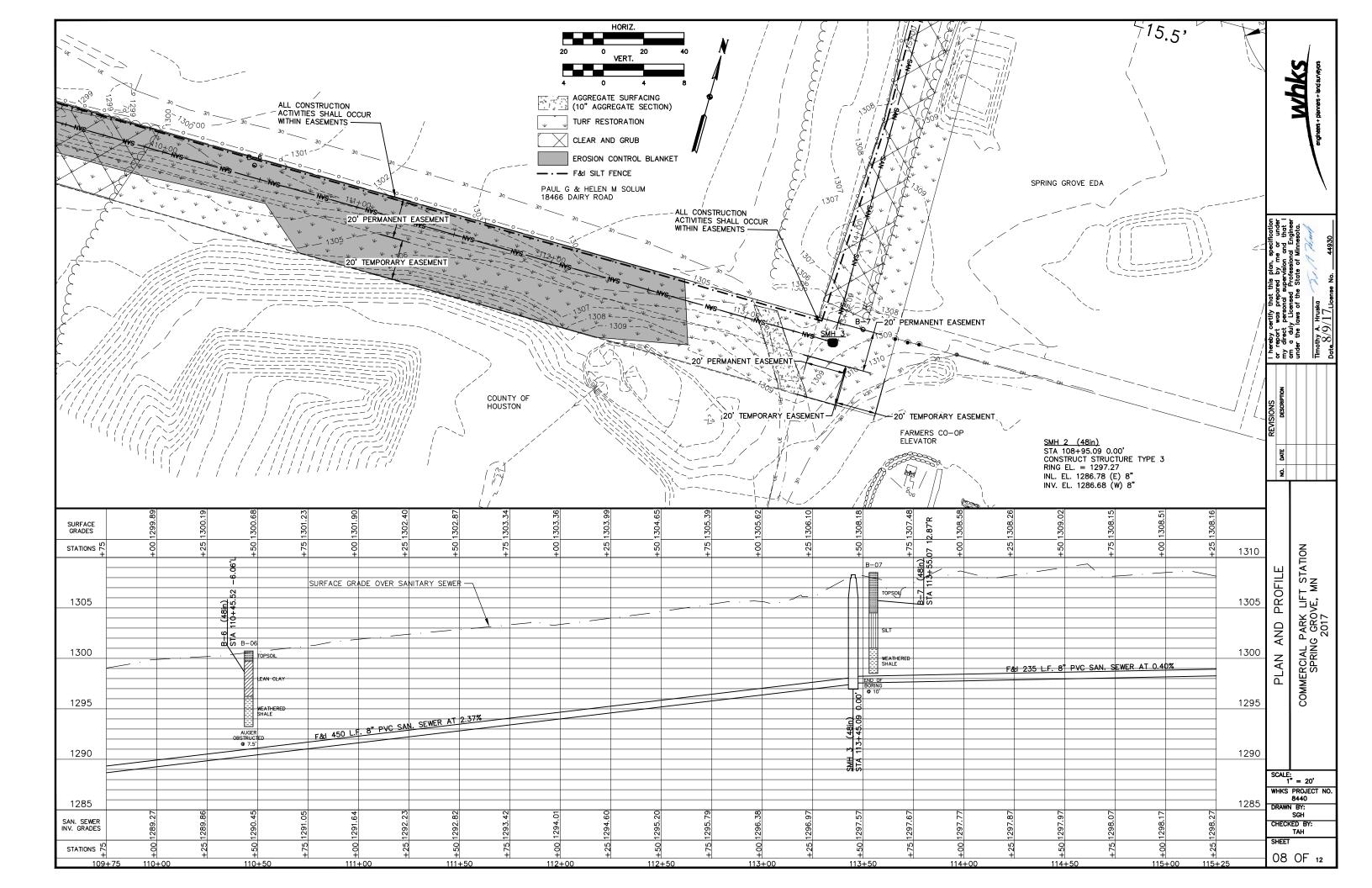


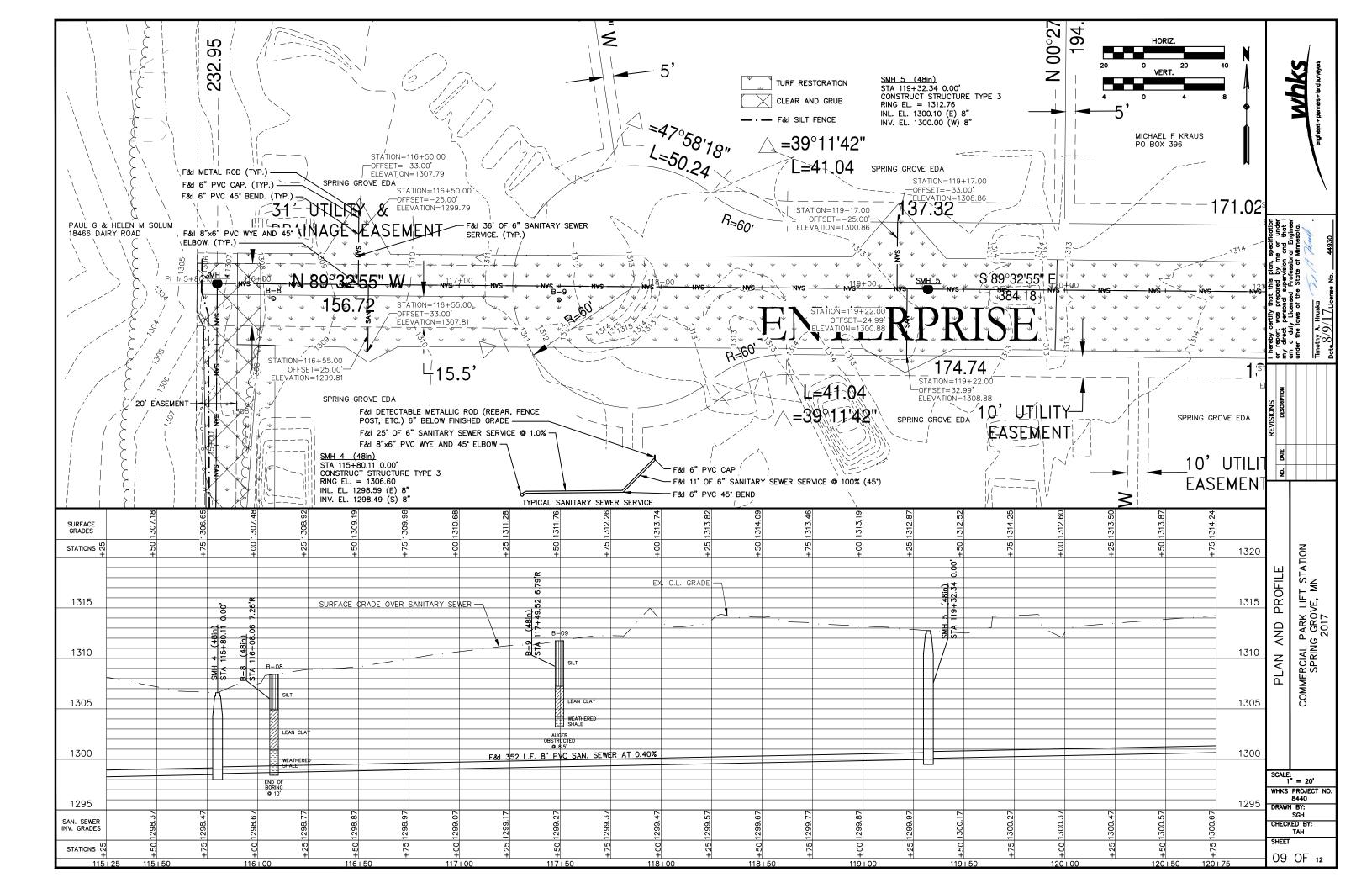
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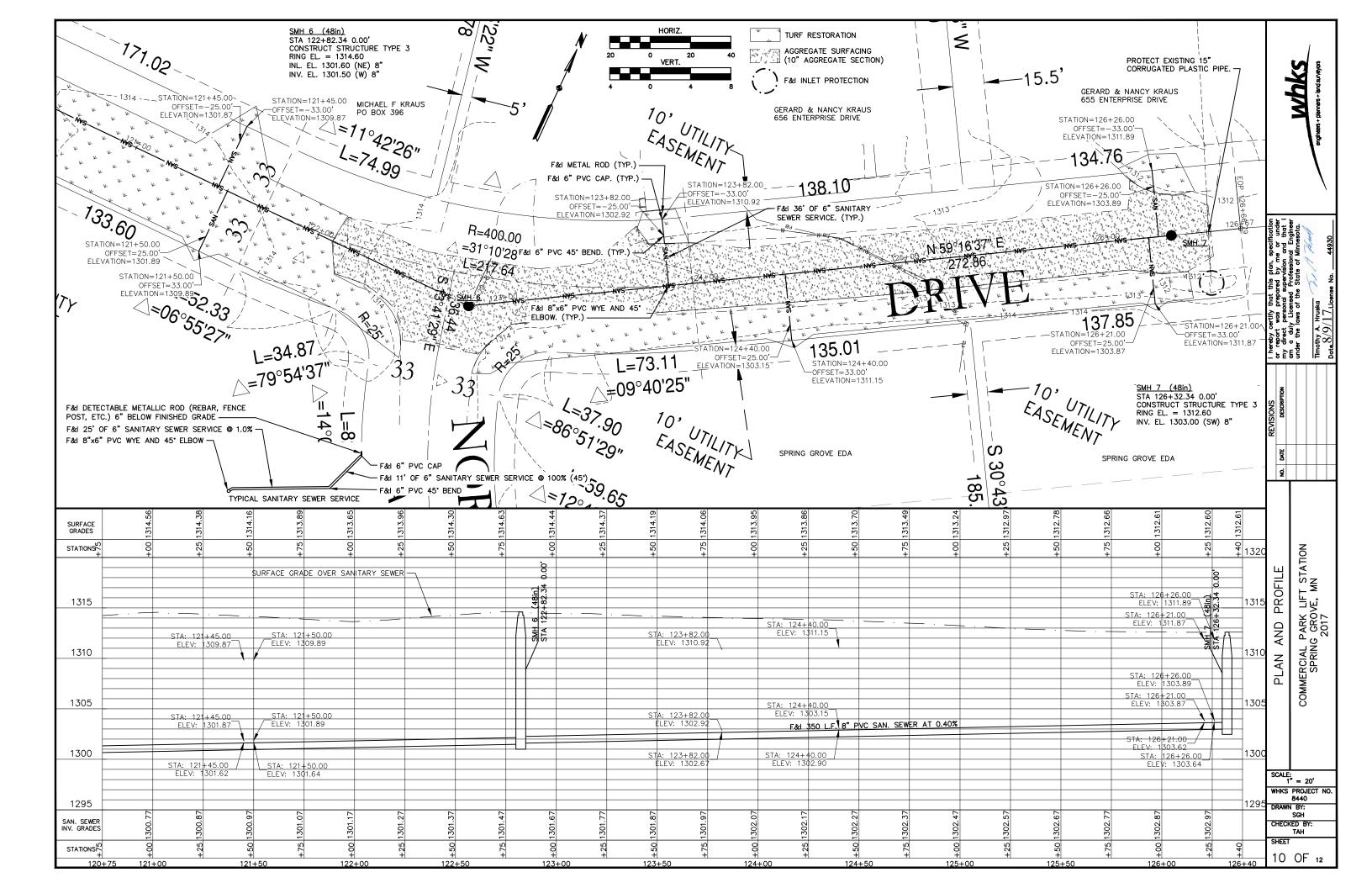


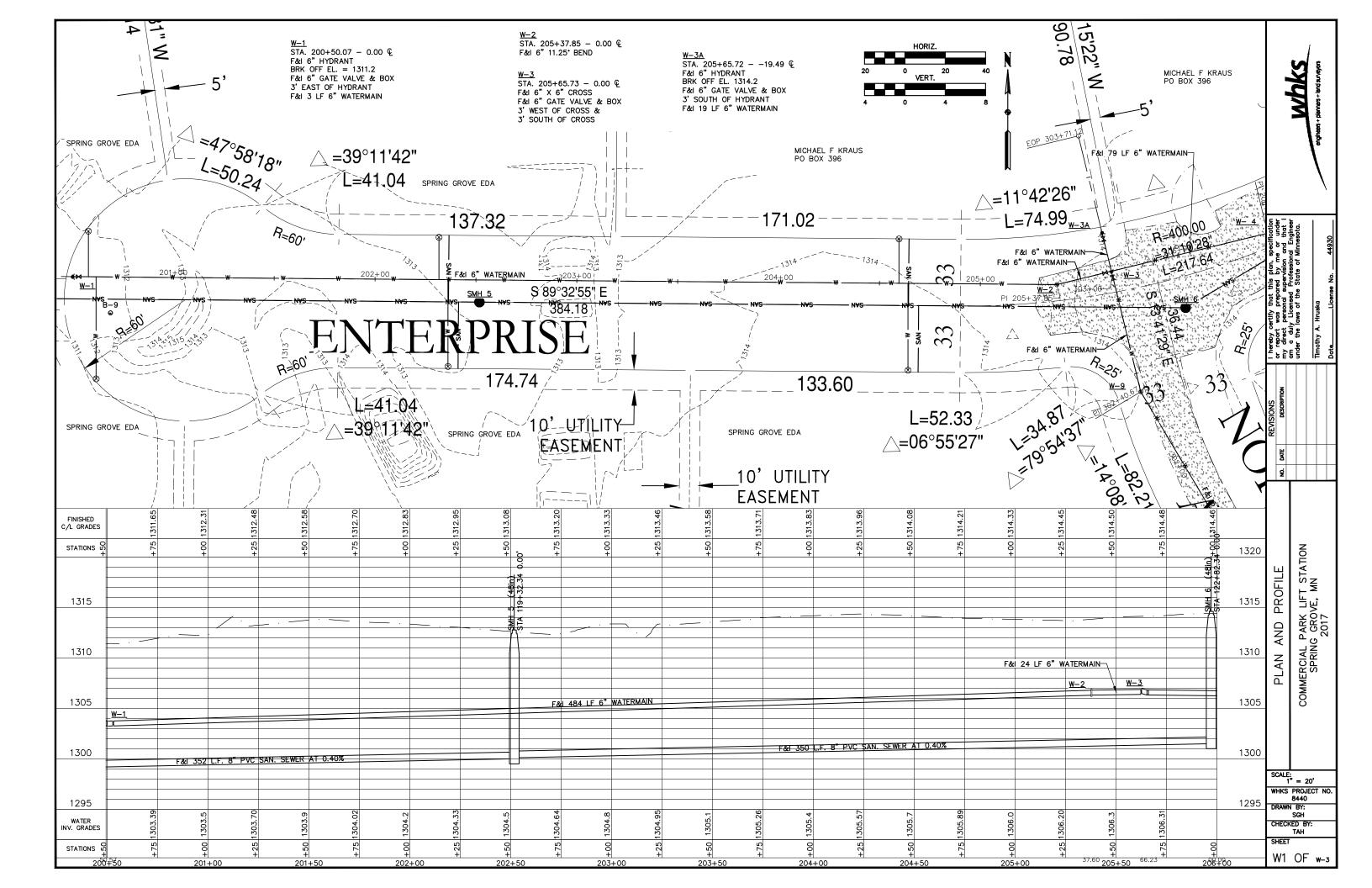


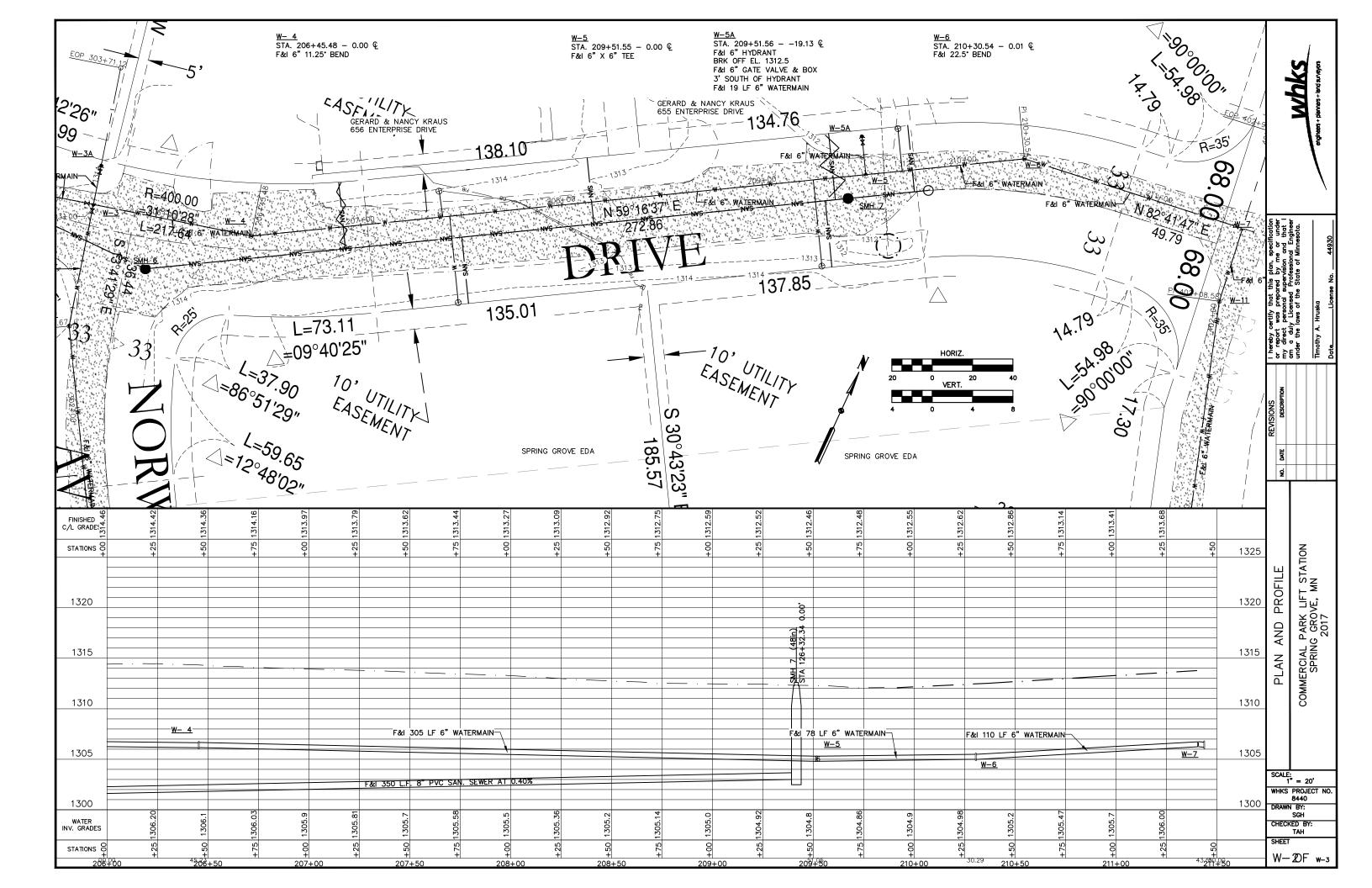


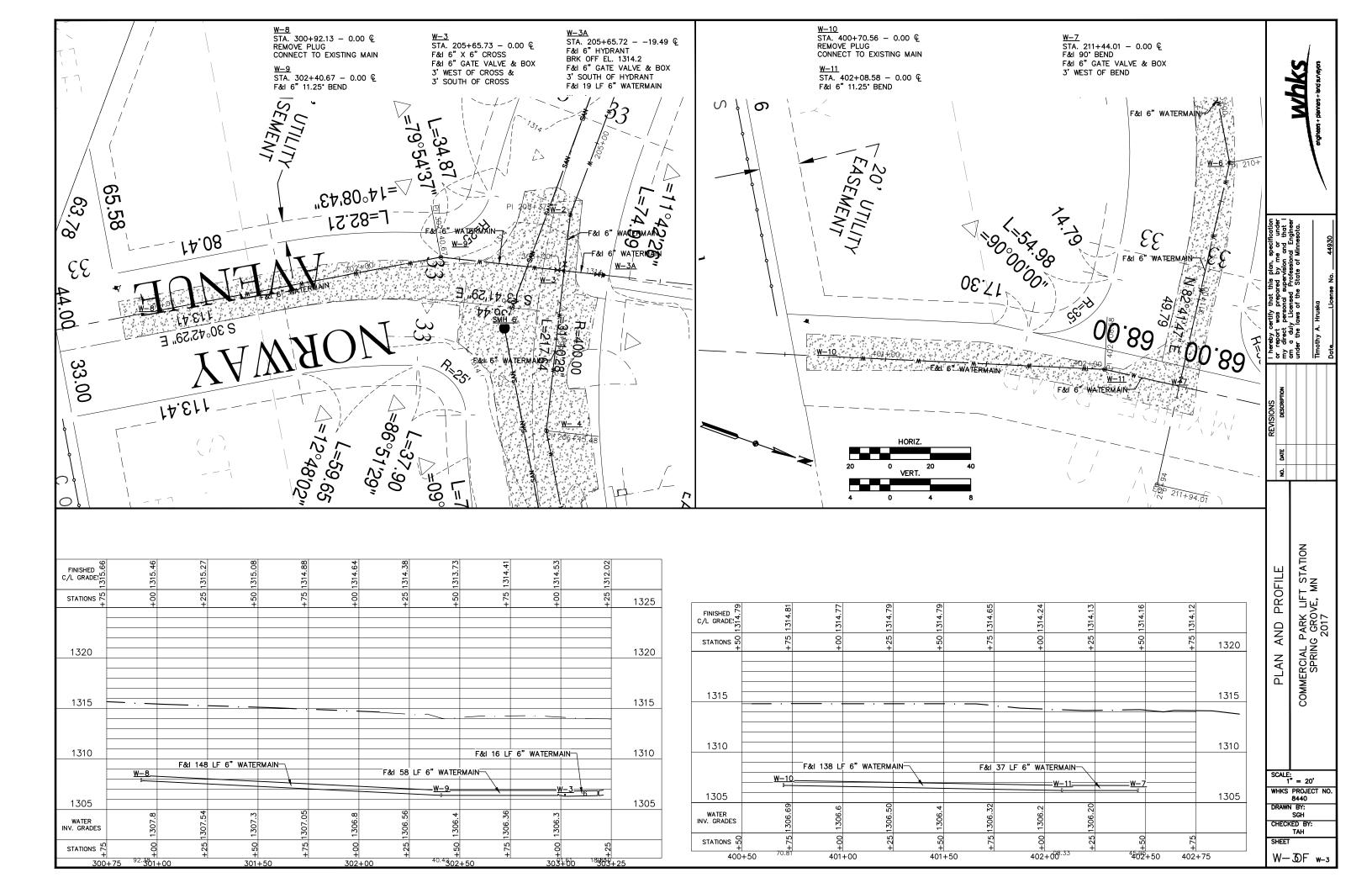












PROJECT LOCATION AND GENERAL SITE INFORMATION

THE PROJECT INCLUDES REMOVING THE EXISTING STREET, UTILITY INSTALLATION, AND ROADWAY CONSTRUCTION.

TRAINING REQUIREMENTS

THE CONTRACTOR WILL ENSURE THAT THE TRAINING REQUIRED IN PART III.A.2 OF THE GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY IS COMPLIED WITH.

THE INDIVIDUAL TRAINED AND THE TRAINING RECEIVED WILL BE RECORDED IN THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED.

LONG TERM OPERATION AND MAINTENANCE

THE CITY OF SPRING GROVE MAINTENANCE DEPARTMENT WILL BE RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT.

PAUL MORKEN STREET SUPERINTENDENT 118 1ST AVENUE NW SPRING GROVE, MN 55974 (507) 498-5221

KARST REGION, PART III.A.7

THERE ARE NO KNOWN KARST FEATURES (SINKHOLES, BLIND VALLEYS, MAPPED CAVES, SPRINGS, OR KARST WINDOWS).

INSPECTIONS AND REPORTS PRACTICES

ROUTINE INSPECTION OF THE ENTIRE CONSTRUCTION SITE SHALL OCCUR AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

AT A MINIMUM, INSPECTIONS AND REPORTS MUST INCLUDE THE FOLLOWING:

- (1) DATE AND TIME OF INSPECTION.
- (2) NAME OF PERSON CONDUCTING INSPECTIONS (3)
- CONDITIONS OF SURFACE WATERS, DITCHES, CONVEYANCE SYSTEMS, AND VEHICLE EXITS.
- FINDING OF INSPECTIONS, INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTIONS.
- CORRECTIVE ACTIONS TAKEN, INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES. (5)
- (6) DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS.
- (7) DOCUMENTATION OF CHANGES MADE TO THE SWPPP WITHIN 7 DAYS.

RECEIVING SURFACE WATERS. DISCHARGE TO IMPAIRED WATERS & SPECIAL WATERS

THE TABLE BELOW IDENTIFIES ALL SURFACE WATERS WITHIN 1-MILE OF THE DISTURBED SOIL PROJECT BOUNDARIES, WHICH WILL RECEIVE STORMWATER RUNOFF FROM THE CONSTRUCTION SITE, DURING OR AFTER CONSTRUCTION.

RECEIVING SURFACE WATERS

NAME OF WATER BODY	SPECIAL WATER (1)	IMPAIRED WATER (2)
UNNAMED TRIBUTARY TO BEAVER CREEK WEST	NO	NO

WETLAND AREAS

THIS PROJECT DOES NOT DISCHARGE STORMWATER WITH THE POTENTIAL FOR SIGNIFICANT ADVERSE IMPACTS TO A WETLAND.

DISTURBED SOIL AREA

TOTAL DISTURBED SOILS AREA FOR THIS PROJECT IS 2.84 ACRES.

IMPERVIOUS SOIL AREA

EXISTING AREA OF IMPERVIOUS SURFACE IS 0.20 ACRES. POST CONSTRUCTION AREA OF IMPERVIOUS SURFACE IS 0.22 ACRES. INCREASE OF IMPERVIOUS SURFACE IS 0.02 ACRES.

THE INCREASE OF IMPERVIOUS SURFACES IS LESS THAN 1.00 ACRE.

SOIL TYPES

THE SOIL TYPES FOUND ON THIS PROJECT ARE TYPE B.

TEMPORARY SEDIMENT BASINS

THIS CONSTRUCTION PROJECT AS DESIGNED DOES NOT MEET ANY OF THE TEMPORARY SEDIMENT BASIN DISTURBED AREA THRESHOLD REQUIREMENTS (10 ACRES OF DISTURBED SOIL). THEREFORE A TEMPORARY SEDIMENT BASIN WILL NOT BE REQUIRED.

PERMANENT STORMWATER MANAGEMENT SYSTEM

ALL STORMWATER MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING WATERS OR ON DOWNSLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING A SIGNIFICANT ADVERSE IMPACT TO THE WETLANDS.

THIS PROJECT HAS LESS THAN 1 ACRE INCREASE IN IMPERVIOUS AREA.

CONSTRUCTION PHASING - EROSION AND SEDIMENT CONTROL SEQUENCING

SILT FENCE, CONSTRUCTION ENTRANCES, AND/OR OTHER SUITABLE PERIMETER BMP'S AS PROVIDED IN THE PLANS WILL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITY. CONSTRUCTION WILL BE REQUIRED TO BE PHASED SO THAT ALL DOWN GRADIENT SEDIMENT CONTROL MEASURES ARE INSTALLED PRIOR TO OR IN CONJUNCTION WITH ANY SOIL DISTURBING ACTIVITIES. THESE BMPS SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION.

WHEN THE EXISTING TOPSOIL IS DISTURBED, THE TOPSOIL WILL BE STRIPPED AND STOCKPILED IN SOIL BERMS. STOCK PILED TOPSOIL BERMS WILL NOT BE PLACED IN ANY STORMWATER CONVEYANCES.

UPON COMPLETION OF THE CONSTRUCTION ACTIVITIES, THE STOCKPILED TOPSOIL BERMS WILL BE RE-SPREAD AND PERMANENT VEGETATION WILL BE ESTABLISHED AS PROVIDED IN THE PLAN.

ALL SOIL DISTURBING ACTIVITIES MUST BE COMPLETED AND ALL SOILS MUST BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PERVIOUS SURFACE AREA, OR OTHER EQUIVALENT MEANS NECESSARY TO PREVENT FUTURE SOIL FAILURE UNDER EROSIVE CONDITIONS. ALL SEDIMENT MUST BE REMOVED FROM CONVEYANCE SYSTEMS AND DITCHES MUST BE STABILIZED WITH PERMANENT COVER. FINAL STABILIZATION SHALL BE DON IN ACCORDANCE WITH PART IV.G.

EROSION PREVENTION PRACTICES, PART IV.B

FOR AREAS WHERE DISTURBED SOILS DRAIN TO AN IMPAIRED OR SPECIAL WATER THE EXPOSED SOIL MUST BE STABILIZED NO LATER THAN 7 DAYS (14 DAYS IF NOT IMPAIRED OR SPECIAL WATER) AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA CEASED. SEE THE IMPAIRED & SPECIAL WATERS SECTION OF THIS SWPPP FOR ADDITIONAL BMP REQUIREMENTS FOR DISTURBED AREAS THAT DRAIN TO A SPECIAL OR IMPAIRED WATER

SOILS SHALL BE STABILIZED WITHIN 24 HOURS FOR ACTIVITIES THAT ARE ADJACENT TO AND DRAIN TO PUBLIC WATERS WITH RESTRICTIONS DURING FISH SPAWING TIMES.

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE POINT OF DISCHARGE INTO ANY SURFACE STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER WATER CONNECTION TO A SURFACE WATER.

PIPE CULVERT OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. THIS WILL INCLUDE DRAINAGE DITCHES THAT DRAIN WATER FROM ANY PORTION OF THE CONSTRUCTION SITE.

SEDIMENT CONTROL PRACTICES, PART IV.C

TEMPORARY STOCKPILED TOPSOIL BERMS MUST INCLUDE PERIMETER BMP'S AS PROVIDED IN THE PLAN AT LOCATIONS WHERE CONSTRUCTION STORMWATER DRAINS FROM THE PROJECT.

A 50 FOOT NATURAL BUFFER, OR REDUNDANT SEDIMENT CONTROLS IF BUFFER IS NOT FEASIBLE, SHALL BE USED NEAR SURFACE WATERS.

IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 1:3 OR STEEPER.

ALL STORM DRAIN INLETS AND CULVERTS MUST BE PROTECTED BY APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL ALL SOURCES WITH A POTENTIAL DISCHARGE TO THE INLET OR CULVERT HAVE BEEN STABILIZED.

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE MUST BE MINIMIZED BY THE USE OF A STABILIZED CONSTRUCTION ENTRANCE AND OTHER BMPS. STREET SWEEPING MUST BE USED IF SEDIMENT IS BEING TRACKED OFF THE CONSTRUCTION SITE.

UNLESS OTHERWISE SPECIFIED IN THE PERMIT, ALL NONFUNCTIONAL BMP'S MUST BE CLEANED, REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW FOR ACCESS.

LOCATION OF SWPPP REQUIREMENTS

LUCATION OF SWPPP REQUIREMENTS				
IT TITLE LOCATION MN/DOT SPECIAL PROVISION	1			
PLIANCE SWPPP 1701, 1702, & 1717 (AIR, LAND, & WATER) 1717 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION	N SYSTEM (NPDES) PERMIT)			
EROSION AND MANAGEMENT PROJECT CONTACTS SWPPP PLANSET PAGE 1506, 1717, & 1717 (AIR, LAND, & WATER)				
SIBILITY PROJECT CONTACTS SWPPP PLANSET FAGE 2573 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION	N SYSTEM (NPDES) PERMIT)			
ION & SEDIMENT CONTROL ON / MAINTENANCE LOG				
NTION IN				
/ DIRECTION OF FLOW GENERAL LAYOUT PLANS 1717				
RUCTION STAGING 1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION 1806 (DETERMINATION AND EXTENSION OF CONTRAC				
CONTROL BMP LOCATIONS, QUANTITY TABULATIONS PLANS 2573 & 2573 (STORMWATER MANAGEMENT)				
RMANENT EROSION AND ROVIDED OR SHOWN IN 2575 (RAPID STABILIZATION SPECIFICATION)	N SYSTEM (NPDES) PERMIT)			
D SEDIMENT CONTROL D SEDIMENT, REMOVAL S S S S S S S S S S S S S S S S S S S	N SYSTEM (NPDES) PERMIT)			
BEWATERING & DRAINING SWPPP DOCUMENT 2105.38 & DEWATERING MAY ALSO REQUIRE A DNR PERMIT. 2451.3C NO DEWATERING IS ANTICIPATED FOR THIS PROEJCT	DRAM			
ATION QUANTITY TABULATIONS PLANS & SPECS 1717, 2573, 1717 (AIR, LAND, & WATER) & 2575 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION				
IENT CONTROL DETAILS EROSION CONTROL PLAN DETAILS	SHEE			
INTROL DETAILS EROSION CONTROL PLAN DETAILS	I 11			

PROJECT CONTACTS						
RESPONSIBLE AGENCY / PARTY	PERMIT CERTIFIED TRAINING (REFRESHER EVERY 3 YEARS)	INSTRUCTOR, DATE OF TRAINING	CONTACT PHONE NAME NUMBER			
MPCA	NPDES		ROBERTA GETMAN	507-280-2996		
MPCA	EMERGENCY		STATE DUTY OFFICER	800-422-0798		
DNR	NOT REQUIRED		PETER LEETE	651-296-6569		
COE	NOT REQUIRED		DAVE STUDENSKI	507-895-2064		
SWPPP PREPARATION	U OF MN DESIGN OF SWPPP EXPIRES 5/19		BRANDON THEOBALD	507-288-3923		
INSPECTOR			TO BE DETERMINED			
PROJECT ENGINEER	U OF MN DESIGN OF SWPPP EXPIRES 5/19		BRANDON THEOBALD	507-288-3923		
EROSION CONTROL SUPERVISOR (CONTRACTOR)	TO BE DETERMINED		TO BE DETERMINED			
CHAIN OF RESPONSABILITY	NOT REQUIRED		TO BE DETERMINED			

EROSION & SEDIMENT CONTROL SCHEDULE:

1) MARK GRADING LIMITS AND "DO NOT DISTURB AREAS". 2) INSTALL PERIMETER EROSION CONTROL.

3) CONSTRUCT STABILIZED VEHICLE EXITS.

4) INSTALL INLET PROTECTION.

5) BEGIN GRADING OPERATIONS.

- 7) MAINTAIN AND UPDATE INLET PROTECTION THROUGH JOB PHASES. 9) STABILIZE FINAL INCREMENT OF GRADING AREA.
- 1/2 STORAGE VOLUME; WITHIN 72 HOURS. 13) FILE "NOTICE OF TERMINATION" WITH THE MPCA.

RECORD RETENTION

THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE AMENDED IF THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT IMPACT ON THE DISCHARGE TO SURFACE WATERS OR UNDERGROUND WATERS. THE PLAN WILL ALSO BE AMENDED IF IT IS PROVEN TO BE INADEQUATE IN CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES DUE TO CONSTRUCTION ACTIVITIES.

THE SWPPP, ORIGINAL AND COPIES, MUST BE KEPT ON SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THE SITE. ALL OWNERS MUST KEEP THE SWPPP, TRAINING DOCUMENTATION, RECORDS OF ALL INSPECTION AND MAINTENANCE, ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, ALL REQUIRED CALCULATIONS FOR DESIGN OF STORMWATER MANAGEMENT SYSTEMS, AND ANY OTHER PERMITS REQUIRED FOR THE PROJECT FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION AS DESCRIBED IN III.D

QUANTITIES:

LUMP SUM 1732 LE SILT FENCE EACH INLET PROTECTION 3

6) INCREMENTALLY SEED AND BLANKET AREAS OR SOD AS GRADING PROGRESSES. 8) COMPLETE MAINTENANCE AND REPAIRS OF EROSION AND SEDIMENT CONTROLS. 10) MONITOR GRASS GROWTH AND RESEED/RESOD WHERE NEEDED UNTIL SITE IS STABILIZED. 11) REMOVE SILT FENCE AND OTHER TEMPORARY EROSION CONTROLS. 12) CLEAN BASINS OF ALL CONSTRUCTION RELATED SEDIMENTATION WHENEVER VOLUME REACHES vhks

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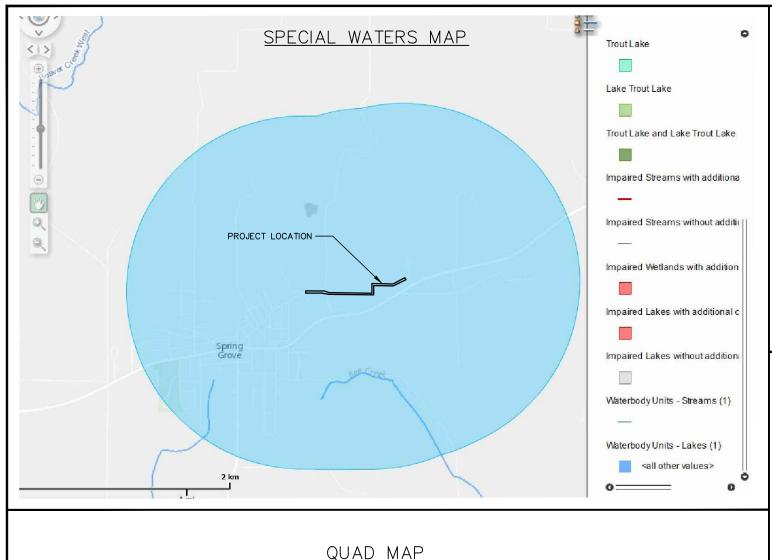
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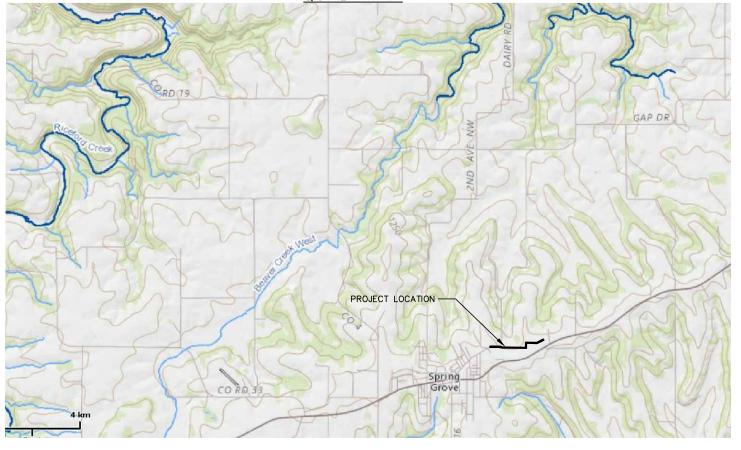
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STABILIZED CONSTRUCTION EXIT





POLLUTION PREVENTION MEASURES

THE CONTRACTOR WILL IMPLEMENT THE POLLUTION PREVENTION MANAGEMENT MEASURES AS DIRECTED IN THE NPDES PERMIT PART IV.F 1-4 AS PERTAINING TO SOLID WASTE, HAZARDOUS MATERIALS, EXTERNAL TRUCK WASHING, AND CONCRETE WASHOUT ON SITE.

SOLID WASTE: NON-HAZARDOUS WASTE SUCH AS COLLECTED SEDIMENT, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION DEBRIS AND OTHER WASTES SHALL BE STOCKPILED AT AN APPROVED LOCATION. ALL NON-HAZARDOUS WASTE SHALL BE DISPOSED OF PROPERLY AND IN ACCORDANCE WITH MPCA REQUIREMENTS AND MNDOT SPECIFICATION 1717.A.4.

HAZARDOUS WASTE: ALL HAZARDOUS WASTE SUCH AS OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED. STORAGE SHALL INCLUDING SECONDARY CONTAINMENT OR OTHER MEASURES TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. ACCESS TO STORAGE AREAS MUST BE RESTRICTED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST COMPLY WITH MANUFACTURERS' RECOMMENDATIONS AND THE MPCA REQUIREMENTS.

CONSTRUCTION VEHICLE WASHING: EXTERNAL WASHING OF TRUCKS AND CONSTRUCTION VEHICLES WILL NOT BE ALLOWED ON SITE. ENGINE DEGREASING IS NOT ALLOWED ON SITE.

CHEMICAL TREATMENT PLAN: THE CONTRACTOR SHALL HAVE A CHEMICAL TREATMENT PLAN THAT INCLUDES CHEMICALS USED FOR FLOCCULATION

FOR CONCRETE WASHOUT ON SITE, ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

THESE MANAGEMENT MEASURES FOR POLLUTION PREVENTION WILL BE STRICTLY ENFORCED.





Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
285A	Port Byron silt loam, 1 to 3 percent slopes	В	1.2	24.7%
285B	Port Byron silt loam, 3 to 6 percent slopes	В	1.0	20.1%
401B	Mt. Carroll silt loam, 2 to 6 percent slopes, moderately eroded	В	0.1	1.5%
401C	Mt. Carroll silt loam, 6 to 12 percent slopes, moderately eroded	В	2.4	49.1%
476D	Frankville silt loam, 12 to 20 percent slopes	С	0.0	0.1%
492B	Nasset silt loam, 3 to 6 percent slopes	В	0.2	4.5%
Totals for Area of Interest			5.0	100.0%

FUELING AND SPILL PLAN: THE CONTRACTOR SHALL HAVE A FUELING OPERATION PLAN AND A PLAN IN THE EVENT OF A SPILL

SANITARY AND SEPTIC WASTE: PORTABLE TOILETS ON THE SITE MUST BE SECURED AND SANITARY WASTE DISPOSAL WILL COMPLY WITH THE MPCA SEPTAGE MANAGEMENT GUIDELINES INCORPORATING 40 CFR PART 503.

	engineers + ptermens + ptermens					
I hereby certify that this plan, specification	or report was prepared by me or under my direct personal supervision and that I	am a duly Licensed Professional Engineer	under the laws of the State of Minnesota.	Put that	DO /0 /1 7	Date <u>0/ 7/ 1 /</u> License No. <u>44930</u>
REVISIONS	NO. DATE DESCRIPTION					
	SWPPP		COMMERCIAL PARK LIFT STATION	SPRING GROVE MINNESOTA	2017	
SCALE: AS SHOWN WHKS PROJECT NO DRAWN BY: SGH CHECKED BY: TAH SHEET 12 OF 12				0.		

